



BUILDING DEPARTMENT MIDWEST INSPECTION SERVICES

16553 37TH ST SE Suite 5
MAPLETON, ND 58059
PHONE: 701-532-1078
FAX: 701-532-1608

Please email completed applications to: midwestinspectionsservicesnd@gmail.com

GUIDELINE FOR BUILDING ADDITIONS TO DWELLINGS

This handout is a guide only and does not contain all the requirements of the Valley City Building Code.

Building Permits are required for all additions to any dwelling or accessory structures. Separate permits are required for HVAC, Electrical and Plumbing work.

Building Permit Fees are based on the valuation of the construction project; this includes the materials and labor. If you will be doing the work yourself an estimate of labor cost shall be determined and included with the cost of materials.

General Building Permit Application Requirements:

- ❖ Name, address and telephone number of person making application.
- ❖ Name, address and telephone number of person owning the property.
- ❖ Name, address and telephone number of Contractor, architect/designer and all subcontractors.
- ❖ Job cost
- ❖ Job description must indicate the entire scope of work to be completed (levels to be finished or unfinished, etc.)

Plans Required:

- ❖ Provide a total of 2 sets of bound and clearly marked plans with the following contents:
- ❖ Residential Building Permit Application.
- ❖ Approval letters if required by area developers.
- ❖ One complete set of engineered truss specs and layout details.
- ❖ (2) Copies of site plan to include lot & block description, all easements and must show all structures as they sit on the lot and the actual dimensions from property lines to the structures.
- ❖ (2) Copies construction drawings to include: elevations, dimensioned floor plans for all levels, section detail of wall, roof, foundation (size of footings, walls & rebar size & spacing) & materials being used. **(All construction drawings must be to a minimum 1/8" scale and 11x17 sized paper.)**
- ❖ Professional engineered designs may be required if the plan review indicates structure or parts thereof exceed the requirements of the Building Code (IRC & IBC).
- ❖ If engineered designs are required, they must have the original wet stamp signature of the design professional.

REQUIRED INSPECTIONS

1. **Site/Footing** – to approve accessory structure location and footing prior to pouring concrete.
2. **Foundation wall** – to approve rebar placement prior to pouring concrete.
3. **Framing** – after completion of structural frame, sheathing and roof to the building frame, and prior to covering the structural frame. All Electrical, HVAC, and Plumbing shall be installed and inspected before calling for framing inspection.
4. **Insulation** – after all insulation and air barrier is installed, prior to hanging sheetrock.
5. **Final** – when addition is completed and prior to occupying.

It shall be the responsibility of the permit holder to notify the Building Department when work is ready to be inspected. No work shall commence until the inspection is complete and approved.

BUILDING CONSTRUCTION GUIDELINES

1. **Setbacks** – for primary structures the Front & rear yard setback is 25’ and 6’ for side yard setbacks. All additions must conform to the current setback requirements regardless of the location of existing structure being added to.
2. **Building Size** – The maximum area for a dwelling is generally restricted by the maximum lot coverage.
3. **Light, ventilation and heating** – All habitable rooms shall aggregate glazing area of not less than 8% of the floor area of the room and have natural ventilation through windows, doors, louvers or other approved openings with a minimum open able area of 4% of the floor area being ventilated. Use of artificial light and mechanical ventilation shall be approved by the Building Department. All dwellings shall have heating facilities capable of maintaining room temperature of 68 degrees at a point 3 feet above the floor and 2 feet from the exterior wall in all habitable rooms.
4. **Room area and height** – All dwellings shall have one habitable room at least 120 square feet and other habitable rooms shall be not less than 70 square feet. All rooms shall have a ceiling height of not less than 7 feet.
5. **Garage and dwelling separation** – Garages shall be separated from the residence and its attic area by less than ½” fire rated gypsum board applied to the garage side
6. **Emergency escape and rescue openings** - Basements with habitable space and all sleeping rooms are required to have emergency escape and rescue openings. Where the basement contains one or more sleeping rooms, emergency escape and rescue openings shall be required in each sleeping room, but shall not be in the adjoining areas of the basement. See attached sheet for minimum requirements for egress windows.
7. **Means of egress** - Means of egress from all dwellings shall be directly to the exterior and shall not require traveling through a garage. Egress door shall be a side hinged door not less than 3 feet in width and not less than 6 feet 8 inches in height. Landings shall be provided on both sides of the door.
8. **Smoke alarms** - Smoke alarms are required in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story including the basement. All smoke alarms shall be interconnected. When interior alteration or remodeling that requires a permit or when bedrooms are added or created the entire dwelling shall have smoke alarms installed and shall be interconnected and hard wired.
9. **Moisture vapor retarder** - Moisture vapor retarder is required for all framed walls, floors and roof/ceilings comprising elements of the building thermal envelope and shall be installed on the warm-in-winter side of the insulation.
10. **Footing and Foundation** – Frost protected footings are required for dwellings. Frost depth is 54 inches. Sill plates shall be treated and shall be anchored by approved foundation anchor bolts (1/2”) embedded into the concrete, with a washer and nut spaced not more than 6 feet on center and within 12 inches of each end and splice.
11. **Floors** – Manufactured floor trusses or engineered wood I-joint shall be installed as per manufacturer’s instructions. If solid sawn lumber is used, the size of the joist is determined by the span and spacing of the joist. Floor sheathing must be of approved span rated sheathing.
12. **Walls** - Bottom plate shall be of at least the same width as the wall studs. Wall studs shall be a minimum 2 X 4 and space maximum 24 inches on center, with three wall studs at each exterior corner. Wall studs shall be capped with double top plates overlapped at corners and end joints offset at least 24 inches. Structural wall sheathing is recommended. Headers must have at least one trimmer stud under each end. Headers over 5 feet shall have a minimum of two trimmer studs under each end. Headers for openings greater than 8 feet shall be approved by the Building Department. (Consider pre-engineered laminated veneer lumber for openings greater than 6 feet.)
13. **Roofs** – Manufactured roof trusses are highly recommended. If solid sawn lumber is used, the size of the rafter is determined by the span and spacing of the rafter. Roof sheathing must be of approved span rated sheathing.
14. **All residential construction shall meet the minimum requirements of the of Valley City Building Code.**



Residential Building Permit Application

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 Incomplete applications will cause delays in the routing/review and permitting process.

Project Title*:	Office use only:
Address:	
Project Value:	
Project Description:	
Owner:	Contact Person:
Address:	Phone: Fax: E-mail:
Designer:	Contact Person:
Address:	Phone: Fax: E-mail:
General Contractor:	Contact Person:
Address:	Phone: Fax: E-mail:
ND Contractor License No.	
Foundation Contractor:	Mechanical Contractor:
Phone: E-Mail: ND Contractor License No.	Phone: E-Mail: ND Contractor License No.
Excavator:	Yard Grading Contractor:
Phone:	Phone:

Plumbing Contractor: Phone:	Electrical Contractor: Phone:
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Complete back side.

TYPE OF IMPROVEMENT:

New Construction
 Addition
 Remodel
 Demolition
 Move
 Repair
 Miscellaneous
 Temporary

PERMIT FOR:

Single Family Dwelling
 Two Family Dwelling (Separate Permit for each Unit)
 Townhouse (Units)
 Accessory Building
 Deck
 Residing
 Lower Level Finish
 Other (Please Explain :)

BUILDING/STRUCTURE SIZE:

Width	Ft.	Depth	Ft.	Height	Ft.	No. of Stories	Basement Finished	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Basement Floor Area		SF		Number of Bedrooms					
Main Floor Area		SF		Number of Bedrooms					
Second Floor Area		SF		Number of Bedrooms					
Third Floor Area		SF		Number of Bedrooms					
Garage Floor Area		SF							

BUILDING LOCATION ON SITE:

Property Zoning Designation	Property Area	SF	
North Property Setback Distance	Ft.	<input type="checkbox"/> Front	<input type="checkbox"/> Side
East Property Setback Distance	Ft.	<input type="checkbox"/> Front	<input type="checkbox"/> Side
South Property Setback Distance	Ft.	<input type="checkbox"/> Front	<input type="checkbox"/> Side
West Property Setback Distance	Ft.	<input type="checkbox"/> Front	<input type="checkbox"/> Side

Rear Adjacent to Public Way
 Rear Adjacent to Public Way
 Rear Adjacent to Public Way
 Rear Adjacent to Public Way

REQUIREMENTS FOR CONSTRUCTION IN FLOODPLAIN:

Is the Building Located in the Special Floodplain Hazard area? Yes No (If yes complete the following)
 Base Flood Elevation Ft. Flood Protection Elevation Ft. Letter of Map Revision Issued Yes No
 Acknowledgement Form Submitted Yes No

For Office Use Only

Septic Permit Required:

Yes No

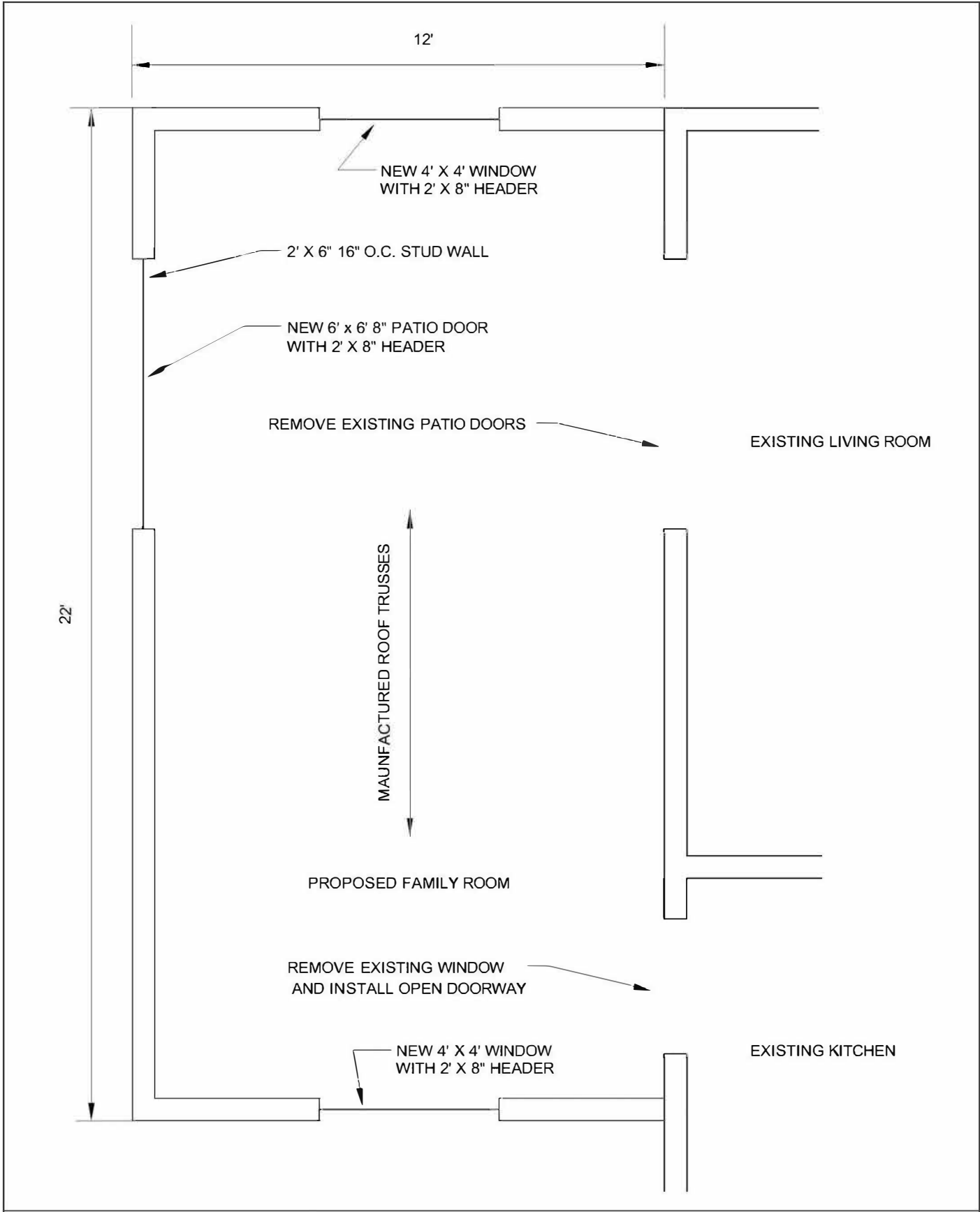
Planning and Zoning Approval:

P.U.D. Yes No Conditional Use Yes No Overlay District Yes No
 Date Approved

I hereby acknowledge that this application is not a Building Permit, nor does it authorize the start of construction.

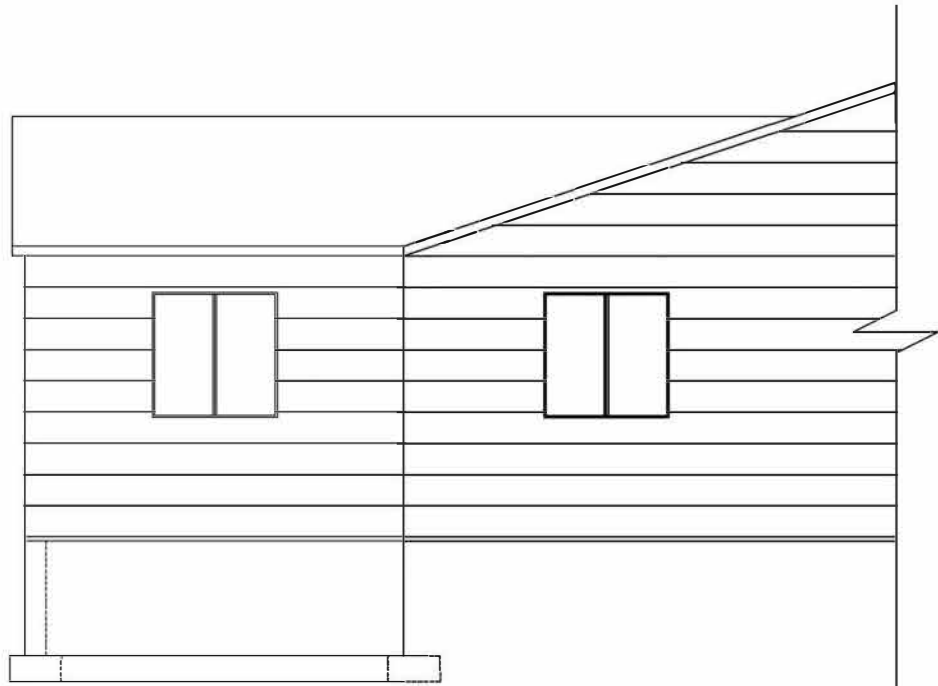
Signature of Applicant

Date



TYPICAL FLOOR PLAN

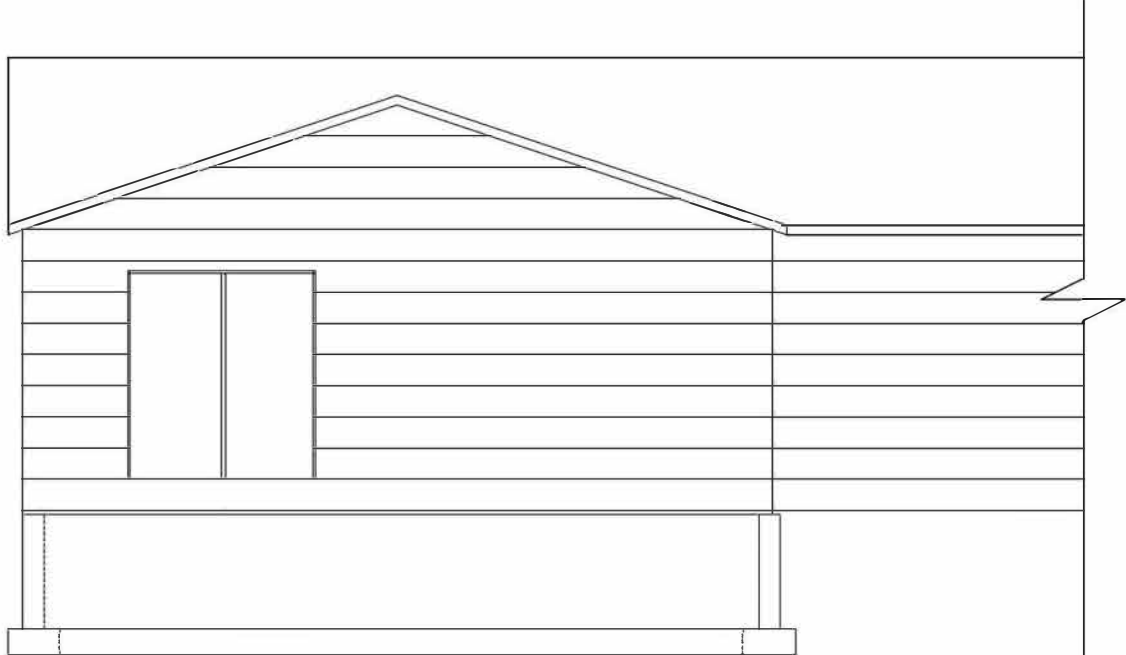
DATE	REVISED	CH'D BY	DRAWING
AUG. 2020			1
DRAWN BY	PROJ. NO.	SCALE	OF
MAH		N.T.S.	1



PROPOSED

EXISTING

WEST ELEVATION

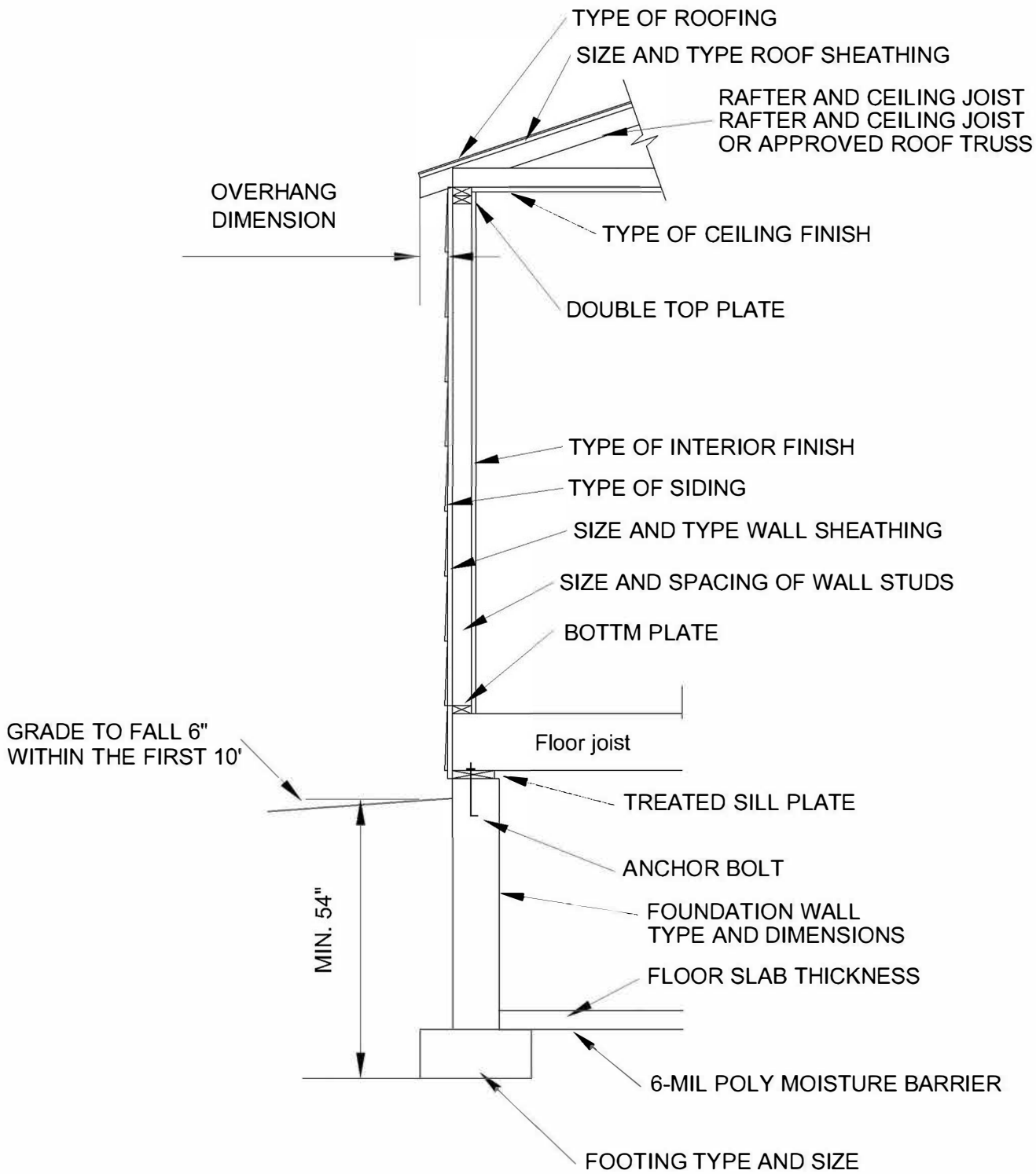


PROPOSED

EXISTING

NORTH ELEVATION

	TYPICAL ELEVATION PLAN			DATE	REVISED	CH'D BY	DRAWING
				AUG. 2020			1
				DRAWN BY	PROJ. NO.	SCALE	OF
			MAH		N.T.S.	1	



	TYPICAL WALL SECTION DETAIL			DATE	REVISED	CH'D BY	DRAWING
				AUG. 2020			1
				DRAWN BY	PROJ. NO.	SCALE	OF
			MAH		N.T.S.		1