

915 2ND ST SE, VALLEY CITY

Deed:
Contract:
CID#: 604
DBA:
MLS: 6040153

Map Area: 19
Route: 019-001-080
Tax Dist: VALLEY CITY
Plat Page: 201
Subdiv: 0024 ZETTERBURG SUBDIVISON OF RIVERSIDE PARK

Checks/Tags:
Lister/Date: GM, 06/30/2004
Review/Date: SH, 09/20/2013
Entry Status: Estimated

Urban / Residential

Legal: LOT 18 ZETTERBERG'S SUBD OF RIVERSIDE PARK ADDN

Land

Table with columns: Land Basis, Front, Rear, Side 1, Side 2, R. Lot, SF, Acres, Depth/Unit, EFF/Type, Qual./Land, Unit Price, Total, Topo, Econ, Other, \$Adj, Land Total (Rnd nearest \$100). Rows include FF Main, Sub Total, and Grand Total.

Street

Utilities

Zoning

Land Use

Summary table for Street, Utilities, Zoning, and Land Use categories.

Sales

Building Permits

Values

Table with columns: Date, \$ Amount, NUTC, Recording, Date, Number, Tag, \$ Amount, Reason, Type, Appraised, B of R, St. Equalized, Pr Yr: 2024. Rows include sales and building permits.

Res. Structure

Finish

Plumbing

Addition

Garage

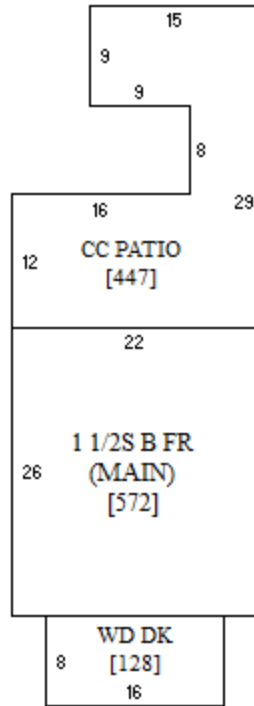
Main property details table with columns for Res. Structure, Finish, Plumbing, Addition, and Garage. Includes sub-sections for Non-base Heating, Fireplaces, and Appliances.



| Bldg / Addn | Description (RCN \$122,045) | Units | Price | Base Value | Grade Mult | Year | Phys% | Fobs% | Eobs% | Other% | Depreciated Total (Rnd nearest dollar) | Map | Appraised Value (Rnd nearest \$100) |
|-------------|-----------------------------------|---------|---------|------------------|------------|------|-------|-------|-------|--------|--|--------------|-------------------------------------|
| | 102 — Single-Family / Rental Unit | | | | | | | | | | | | |
| | 1 1/2 Story Frame | 572 | | \$118,280 | | | | | | | | | |
| #1 | Bsmt Fin - Minimal Finish (Avg) | 200 Tbl | \$14.00 | \$2,800 | | | | | | | | | |
| | Base Heat: FHA - Gas | | | | | | | | | | | | |
| | Deck #1: Concrete Patio | 447 SF | \$4.90 | \$2,190 | | | | | | | | | |
| | Deck #2: Wood Deck | 128 SF | \$21.00 | \$2,688 | | | | | | | | | |
| | Plumbing | 2 | N/A | \$6,700 | | | | | | | | | |
| | Building Sub Total | | | \$132,658 | 0.920 | 1920 | 60.00 | 0 | 0 | 0 | \$48,818 | | |
| | Building TOTAL Value | | | | | | | | | | \$48,818 | 0.750 | \$36,600 |

| Prior Year | Comment | Value Type | Location | Class | Land Value | Dwelling Value | Improvement Value | M & E Value | Total Value |
|------------|---------|------------|----------|-------|------------|----------------|-------------------|-------------|-------------|
| 2024 | | Appr | Urban | Res | \$10,300 | \$36,500 | \$0 | \$0 | \$46,800 |
| 2023 | | Appr | Urban | Res | \$10,300 | \$35,700 | \$0 | \$0 | \$46,000 |
| 2022 | | Appr | Urban | Res | \$9,000 | \$35,700 | \$0 | \$0 | \$44,700 |
| 2021 | | Appr | Urban | Res | \$9,000 | \$32,100 | \$0 | \$0 | \$41,100 |
| 2020 | | Appr | Urban | Res | \$9,000 | \$32,100 | \$0 | \$0 | \$41,100 |
| 2019 | | Appr | Urban | Res | \$9,000 | \$29,500 | \$0 | \$0 | \$38,500 |
| 2018 | | Appr | Urban | Res | \$6,900 | \$29,900 | \$0 | \$0 | \$36,800 |
| 2017 | | Appr | Urban | Res | \$6,900 | \$27,700 | \$0 | \$0 | \$34,600 |
| 2016 | | Appr | Urban | Res | \$6,900 | \$25,600 | \$0 | \$0 | \$32,500 |
| 2015 | | Appr | Urban | Res | \$6,100 | \$24,800 | \$0 | \$0 | \$30,900 |
| 2014 | | Appr | Urban | Res | \$4,300 | \$23,700 | \$0 | \$0 | \$28,000 |
| 2013 | | Appr | Urban | Res | \$4,300 | \$17,700 | \$0 | \$0 | \$22,000 |
| 2012 | | Appr | Urban | Res | \$4,300 | \$17,500 | \$0 | \$0 | \$21,800 |
| 2011 | | Appr | | | \$4,300 | \$16,700 | \$0 | \$0 | \$21,000 |
| 2010 | | Appr | | | \$4,300 | \$16,700 | \$0 | \$0 | \$21,000 |
| 2009 | | Eq | | | \$4,300 | \$15,900 | \$0 | \$0 | \$20,200 |
| 2008 | | Appr | | | \$4,100 | \$15,400 | \$0 | \$0 | \$19,500 |
| 2007 | | Appr | | | \$4,100 | \$15,400 | \$0 | \$0 | \$19,500 |
| 2006 | | Appr | | | \$4,100 | \$14,700 | \$0 | \$0 | \$18,800 |

| | | | | | | | | |
|------|---------------------|--------|--|---------|----------|-----|-----|----------|
| 2005 | | Appr | | \$4,100 | \$15,200 | \$0 | \$0 | \$19,300 |
| 2004 | Full And True Value | Import | | \$3,600 | \$10,800 | \$0 | \$0 | \$14,400 |



Sketch 1 of 1

